

PROPOSED G+III STORIED RESIDENTIAL BUILDING U/S 393A OF KMC ACT 1980 COMPLYING KMC BUILDING RULE 2009 AT PREMISES NO. 54 CHITTARANJAN COLONY, E.P.-388, S.P. NO. - 415/1, C.S. PLOT NO.- 178 (P), MOUZA - RAJAPUR, J.L. NO. 23, UNDER THE JURISDICTION OF K.M.C., WARD - 102, BOROUGH - XII, P.S.- JADAVPUR, KOLKATA - 700032.

CHARACTERISTICS OF PLAN PROPOSAL

- PART-A**
- ASSEESSEE NO : 31-102-06-0054-1
 - a) NAME OF THE OWNER - SRI SANKHANAD DASGUPTA
b) NAME OF THE APPLICANT - SMT. SNIGDHA SAHA SOLE PROPRIETOR OF M/S S.S. ENTERPRISE AS CONSTITUTED ATTORNEY OF SRI SANKHANAD DASGUPTA.
 - DETAILS OF REGD TITLE DEED :-
BOOK - I, VOLUME NO - 6, PAGE NO.-197 TO 200, BEING NO.-425, FOR THE YEAR 1994, DATED :- 28.07.1994, A.D.R. ALIPORE, SOUTH 24 PARGANAS.
 - DETAILS OF REGD GIFT DEED :-
BOOK - I, VOLUME NO - 1605-2021, PAGE NO. -103555 TO 103550, BEING NO.-160502466, FOR THE YEAR 2021, DATED :- 29.09.2021, A.D.S.R. ALIPORE, WEST BENGAL.
 - DETAILS OF BOUNDARY DECLARATION :-
BOOK - I, VOLUME NO - 1603-2022, PAGE FROM - 549400 TO 549411, BEING NO.-160316949, FOR THE YEAR 2022, DATED :- 07.11.2022, D.S.R.-III SOUTH 24 PARGANAS, WEST BENGAL.
 - DETAILS OF POWER OF ATTORNEY :-
BOOK - I, VOLUME NO - 1605-2022, PAGE FROM - 3917 TO 3958, BEING NO.-160500064, FOR THE YEAR 2022, DATED :-19.01.2022, A.D.S.R. ALIPORE, WEST BENGAL.
 - DETAILS OF K.M.C. MUTATION:-
O/102/15-SEP-22/33339, DATED - 15.09.2022

PART-B

- AREA OF THE LAND :- a) AS PER TITLE DEED = 208.030 M² IS EQUIVALENT TO 3 K - 02 CH - 00 SFT.
b) AS PER BOUNDARY DECLARATION = 208.980 M² IS EQUIVALENT TO 3 KATA - 01 CHATTACK - 44.46 SFT
 - PERMISSIBLE GROUND COVERAGE = 124.763 M² (59.701%)
 - PROPOSED GROUND COVERAGE = 128.138 M² (57.488%)
 - PROPOSED AREA:**
- | FLOOR | TOTAL FLOOR AREA | TOTAL EXEMPTED AREA | | | NET FLOOR AREA |
|--------------|------------------------|-----------------------|----------------------|----------------------|------------------------|
| | | STAIR + STAIR LOBBY | LIFT WELL | LIFT LOBBY | |
| GROUND FLOOR | 105.659 M ² | 9.704 M ² | - | 1.678 M ² | 94.277 M ² |
| 1ST FLOOR | 120.138 M ² | 10.069 M ² | 1.540 M ² | 1.678 M ² | 106.851 M ² |
| 2ND FLOOR | 120.138 M ² | 10.069 M ² | 1.540 M ² | 1.678 M ² | 106.851 M ² |
| 3RD FLOOR | 120.138 M ² | 10.069 M ² | 1.540 M ² | 1.678 M ² | 106.851 M ² |
| TOTAL | 466.073 M ² | 39.911 M ² | 4.620 M ² | 6.712 M ² | 414.830 M ² |
- 5.A) PARKING CALCULATION:**
- | TENANT SIZE BETWEEN | NET TENANT SIZE | TOTAL COMMON AREA | AREA TO BE ADDED | GROSS TENMT SIZE | NOS OF TENMT. | REQUIRED PARKING |
|---------------------|------------------------|-----------------------|-----------------------|------------------------|---------------|------------------|
| 50 - 75 SQ.M | 51.912 M ² | 54.631 M ² | 8.915 M ² | 60.827 M ² | 2 NOS. | 2 NOS. |
| | | 54.172 M ² | 9.303 M ² | 63.474 M ² | 2 NOS. | |
| 75 - 100 SQ.M | 106.084 M ² | (17.172%) | 18.217 M ² | 124.301 M ² | 1 NO. | |
- NOS. OF PARKING PROVIDED - COVERED = 4 NOS.
 - PERMISSIBLE F.A.R. = 1.75
 - ACTUAL AREA OF PARKING PROVIDED = 88.551 M²
 - PROPOSED F.A.R. = 1.746
 - STATEMENT OF ADDITIONAL AREAS FOR FEES (12.220 + 7.834 + 2.825 + 8.100) = 30.979 M²
- | FLOOR | CURBOARD | LOFT | LEDGE/TEND |
|--------------|----------------------|------|------------|
| GROUND FLOOR | NIL | NIL | NIL |
| 1ST FLOOR | 2.700 M ² | NIL | NIL |
| 2ND FLOOR | 2.700 M ² | NIL | NIL |
| 3RD FLOOR | 2.700 M ² | NIL | NIL |
| TOTAL | 8.100 M ² | NIL | NIL |
- STAIR HEAD ROOM AREA = 12.220 M²
 - ROOF TANK AREA = 5.720 M²
 - LIFT MACHINE ROOM AREA = 7.834 M²
 - LIFT MACHINE ROOM STAIR AREA = 2.825 M²
 - TREE COVER AREA = 5.500 M²
 - HEIGHT OF THE BUILDING = 12.400 M.
 - RELAXATION OF AUTHORITY = CHANGE OF BACK U/R 61 (2) APPROVED BY E.E.(C)/BLDG/ BR.- XII

I/WE DO HEREBY DECLARE WITH FULL RESPONSIBILITY THAT -

- I/WE SHALL ENGAGE L.B.S. & E.S.E DURING CONSTRUCTION.
- I/WE SHALL FOLLOW THE INSTRUCTION OF L.B.S. & E.S.E. DURING CONSTRUCTION OF THE BUILDING (AS PER B.S. PLAN).
- K.M.C. AUTHORITY WILL NOT BE RESPONSIBLE FOR STRUCTURAL STABILITY OF THE BUILDING & ADJOINING STRUCTURES.
- IF ANY SUBMITTED DOCUMENTS ARE FOUND TO BE FAKE, THE K.M.C. AUTHORITY WILL REVOKE THE SANCTION PLAN.
- THE CONSTRUCTION OF WATER RESERVOIR AND SEPTIC TANK WILL BE UNDERTAKEN UNDER THE GUIDANCE OF L.B.S. / E.S.E., BEFORE STARTING OF BUILDING FOUNDATION WORK.
- THE PLOT IS IDENTIFIED BY ME DURING DEPARTMENTAL INSPECTION. THE PLOT IS BUTTED AND BOUNDED BY BOUNDARY WALL. THE PLOT IS OCCUPIED BY THE OWNERS & THERE IS NO TENANT.

SMT. SNIGDHA SAHA SOLE PROPRIETOR OF M/S S.S. ENTERPRISE AS CONSTITUTED ATTORNEY OF SRI SANKHANAD DASGUPTA.
NAME OF OWNER/S

DECLARATION OF GEO-TECHNICAL ENGINEER:-

UNDERSIGNED HAS INSPECTED THE SITE AND CARRIED OUT SOIL INVESTIGATION THEREON. IT IS CERTIFIED THAT THE EXISTING SOIL OF THE SITE IS ABLE TO CARRY THE LOAD COMING FROM THE PROPOSED CONSTRUCTION AND THE FOUNDATION SYSTEM PROPOSED HEREIN IS SAFE & STABLE IN ALL RESPECT FROM GEO-TECHNICAL POINT OF VIEW.

KALLOL KUMAR GHOSHAL
GTE NO. - II / 14
NAME OF GEO-TECHNICAL ENGINEER

DECLARATION OF STRUCTURAL ENGINEER

CERTIFIED THAT THE STRUCTURAL DRAWING AND DESIGN OF BOTH FOUNDATION AND SUPERSTRUCTURE OF THE BUILDING HAS BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER THE NATIONAL BUILDING CODE OF INDIA AND CERTIFIED THAT IT IS SAFE AND STABLE IN ALL RESPECT. THE SOIL TEST HAS BEEN DONE BY KALLOL KUMAR GHOSHAL OF M/S TECHO SOIL, GORKHARA, ARUNACHAL, SONARPUR, KOLKATA - 700 150. THE RECOMMENDATION OF SOIL TEST REPORT HAS BEEN CONSIDERED DURING STRUCTURAL CALCULATION.

BIVAS BISWAS
ESE NO - 458, CLASS II
NAME OF STRUCTURAL ENGINEER

DECLARATION OF L.B.S.

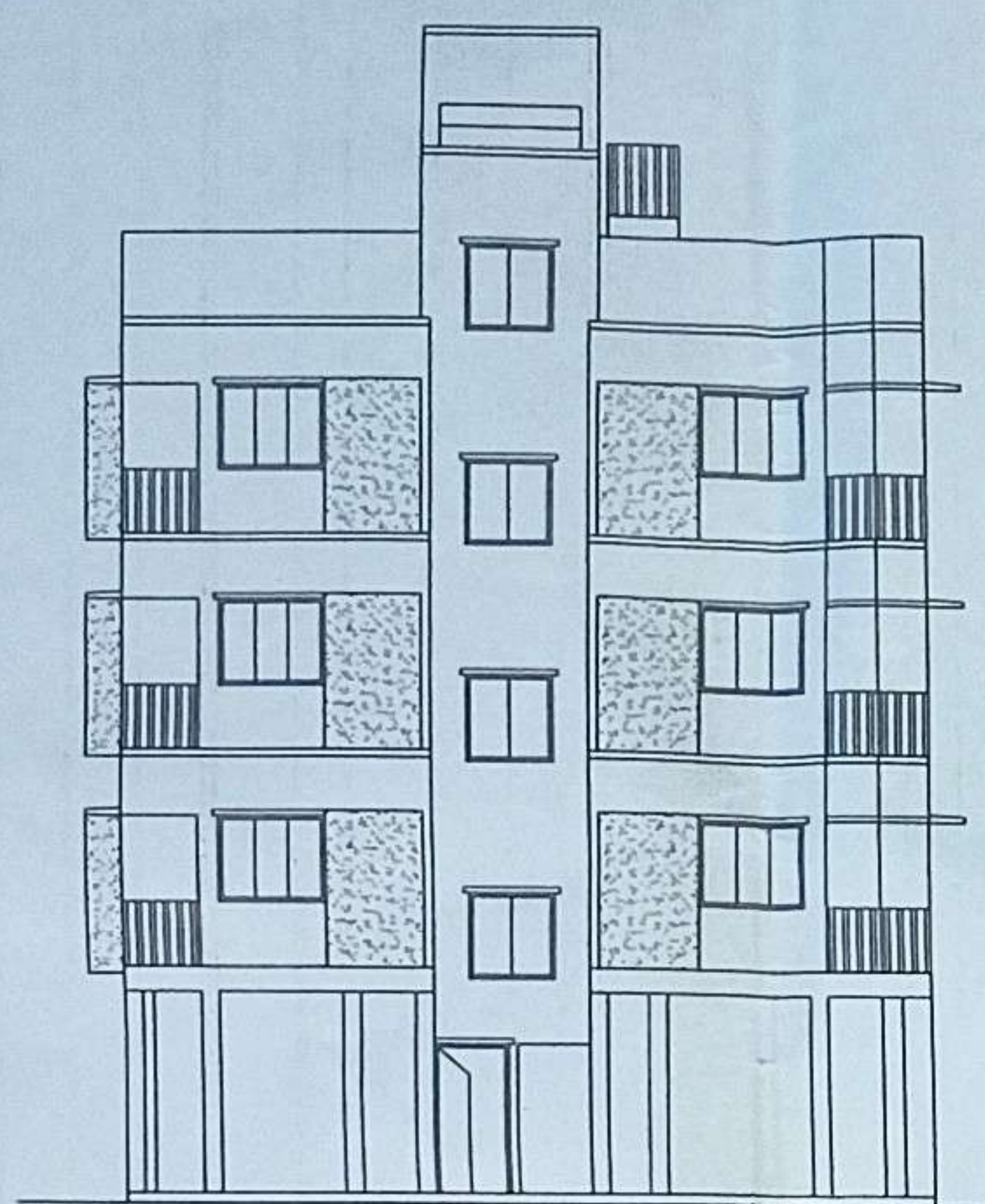
CERTIFIED WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS BEEN DRAWN AS PER PROVISION OF K.M.C. BUILDING RULES 2009 AS AMENDED FROM TIME TO TIME AND THE SITE CONDITIONS INCLUDING WIDTH OF THE ADJOINING WESTERN SIDE ROAD IS MINIMUM 4700 MM & SOUTHERN SIDE ROAD IS 3650 MM WHICH CONFORMS WITH THE PLAN WHICH HAS BEEN MEASURED AND VERIFIED BY ME IT IS A BUILDABLE SITE NOT A TANK OR FILLED UP TANK. THE LAND IS DEMARCATED BY BOUNDARY WALL. THE SIGNATURE OF THE OWNER IS IDENTIFIED BY ME. THE PLOT IS BEYOND 500M FROM CENTER LINE OF E.M. BY PASS.

BIVAS BISWAS
LBS NO - 766, CLASS I
NAME OF L.B.S.

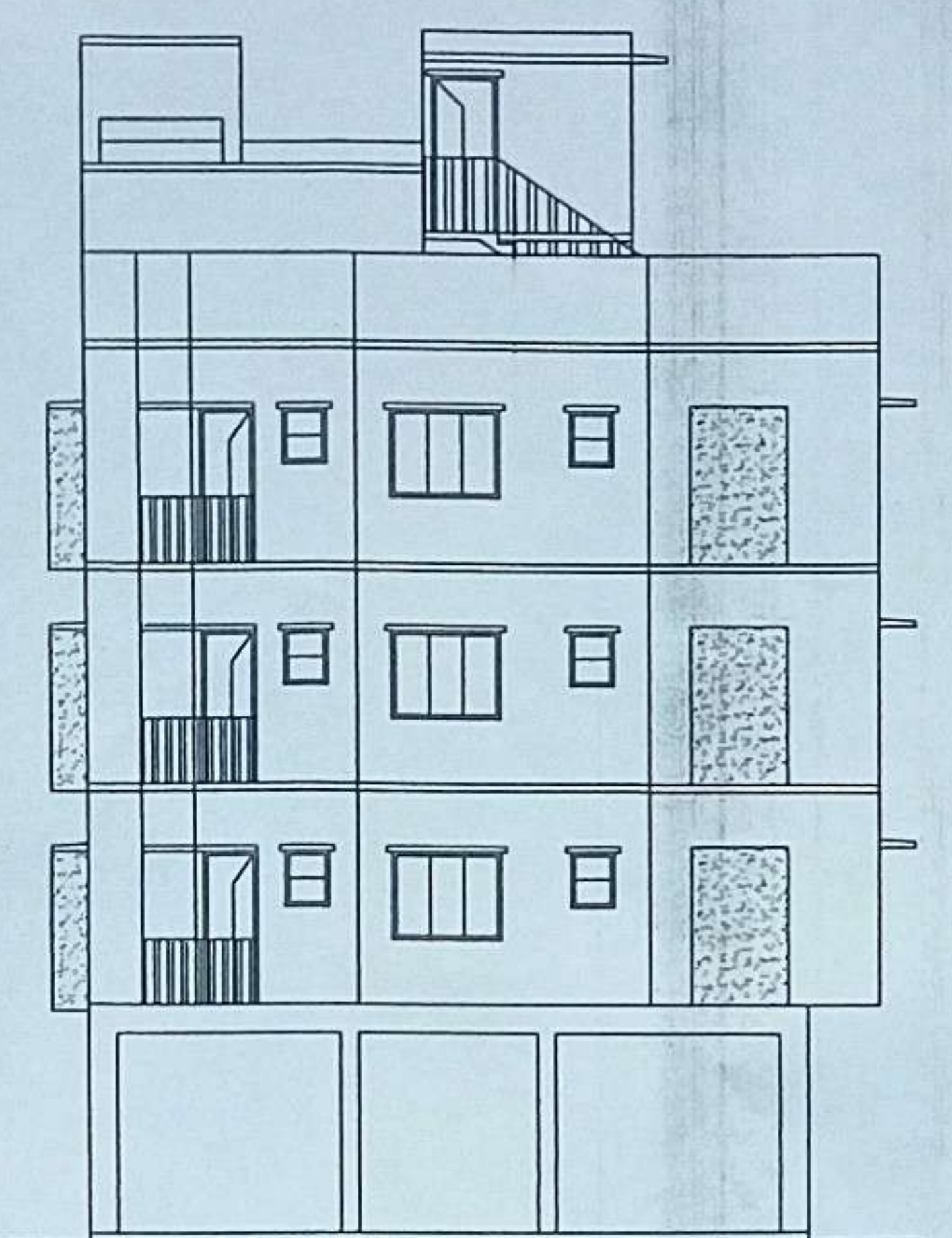
BUILDING PERMIT NO. - 2022120548 DATED - 13-MAR-23 VALID UP TO - 12-MAR-28

Digitally signed by KAJAL ROY
Date: 2023.03.13 16:28:23 +05'30'

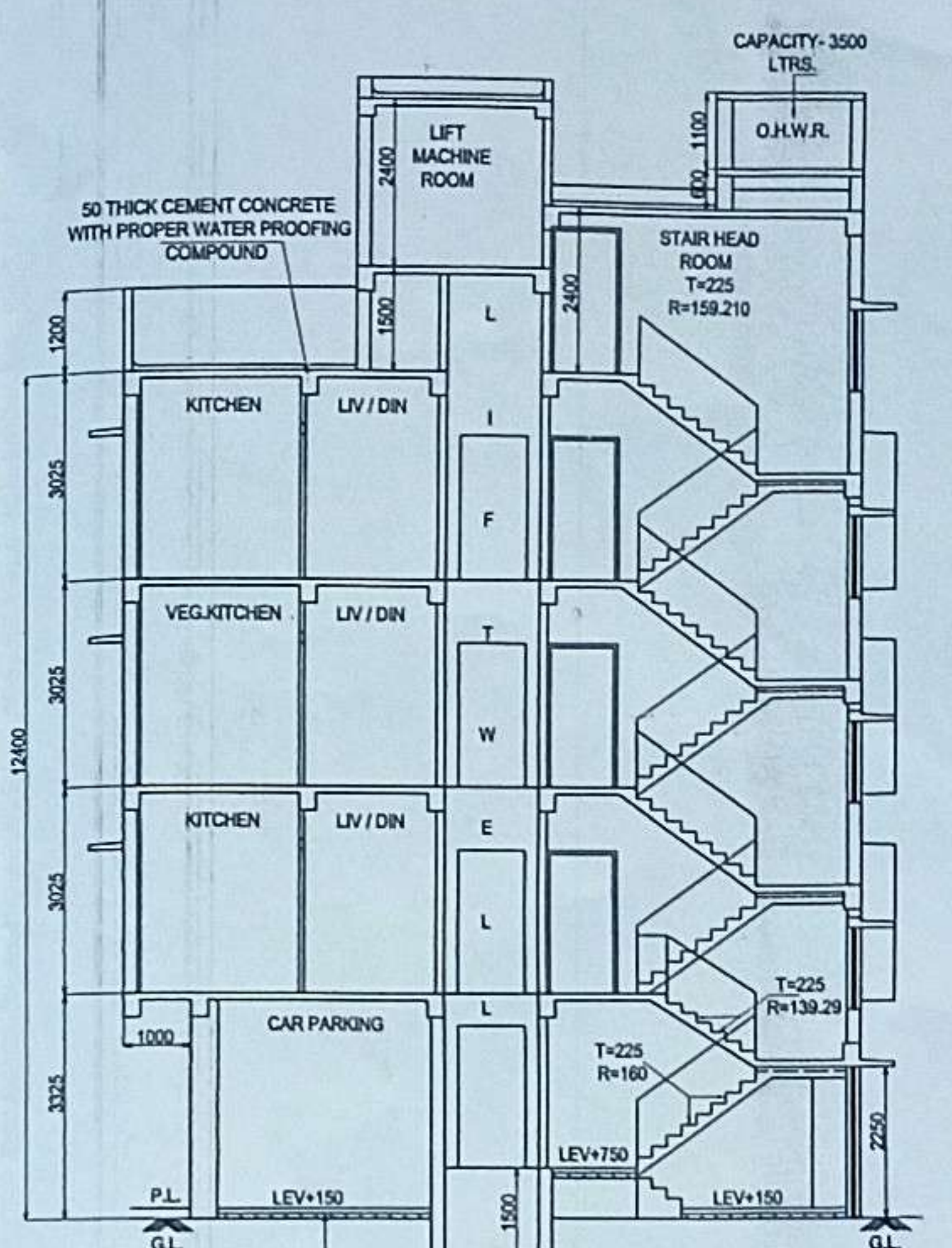
DIGITAL SIGNATURE OF A.E. (C) / BLDG / BR. - XII
NOT APPLICABLE
DIGITAL SIGNATURE OF E.E.



FRONT ELEVATION
SCALE - 1:100



SOUTHERN ELEVATION
SCALE - 1:100



SECTION-BB
SCALE - 1:100

PERMISSIBLE HEIGHT IN REFERENCE TO CCZM ISSUED BY AAJ - 65 METER
CO-ORDINATE IN WGS 84 AND SITE ELEVATION (AMSL):

REFERENCE POINTS MARKED IN THE SITE PLAN OF THE PROPOSAL	CO-ORDINATE IN WGS 84		SITE ELEVATION (AMSL)
	LATITUDE	LONGITUDE	
POINT - 1	22.485020	88.379604	5.71 METER
POINT - 2	22.485020	88.379604	5.71 METER

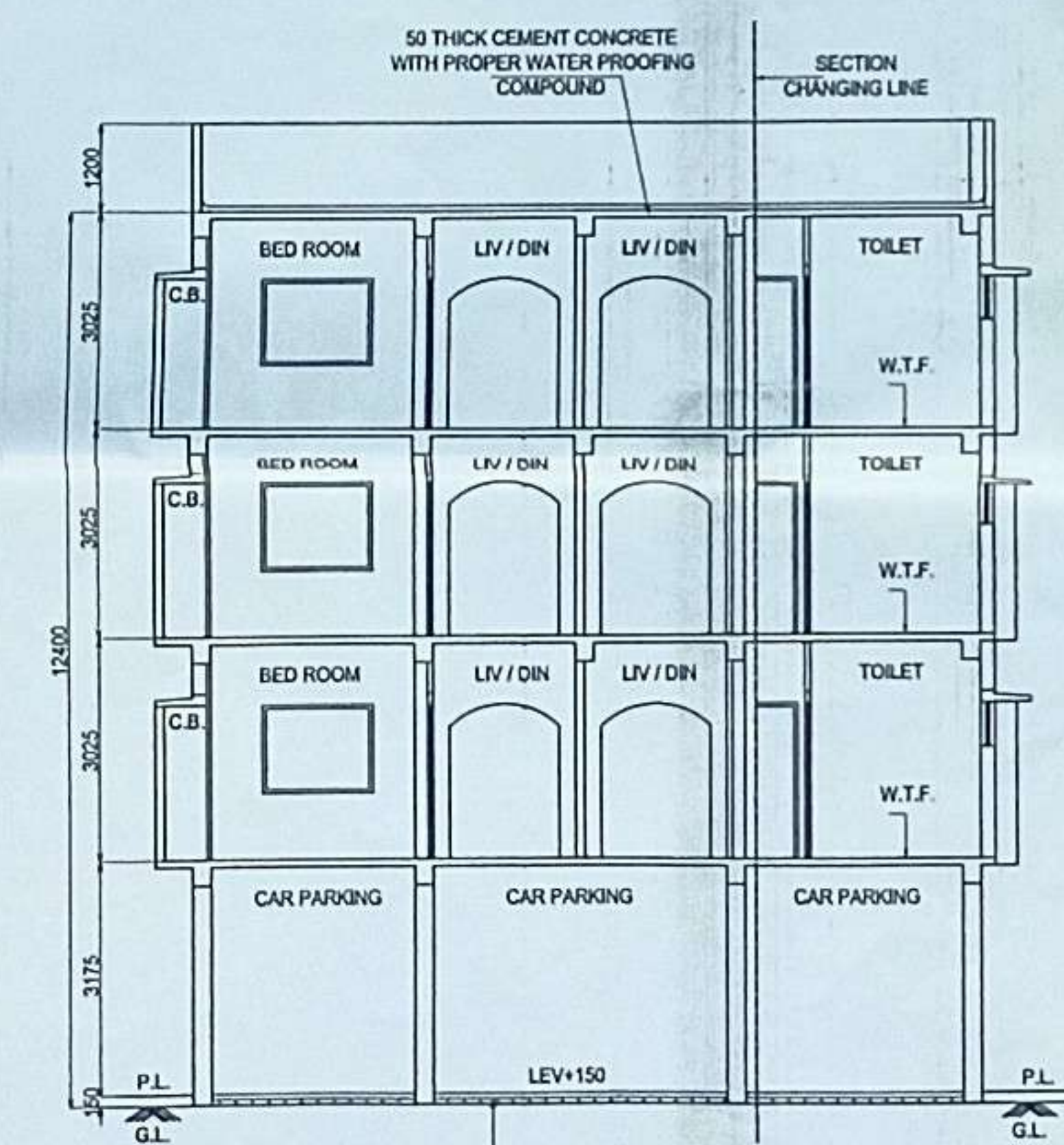
THE ABOVE INFORMATION IS TRUE AND CORRECT IN ALL RESPECT AND IF AT ANY STAGE, IT IS FOUND OTHERWISE, THEN I/WE SHALL BE FULLY LIABLE FOR WHICH K.M.C AND OTHER APPROPRIATE AUTHORITY RESERVE THE RIGHT TO TAKE APPROPRIATE ACTION AGAINST ME AS PER LAW.

SCHEDULE OF DOOR

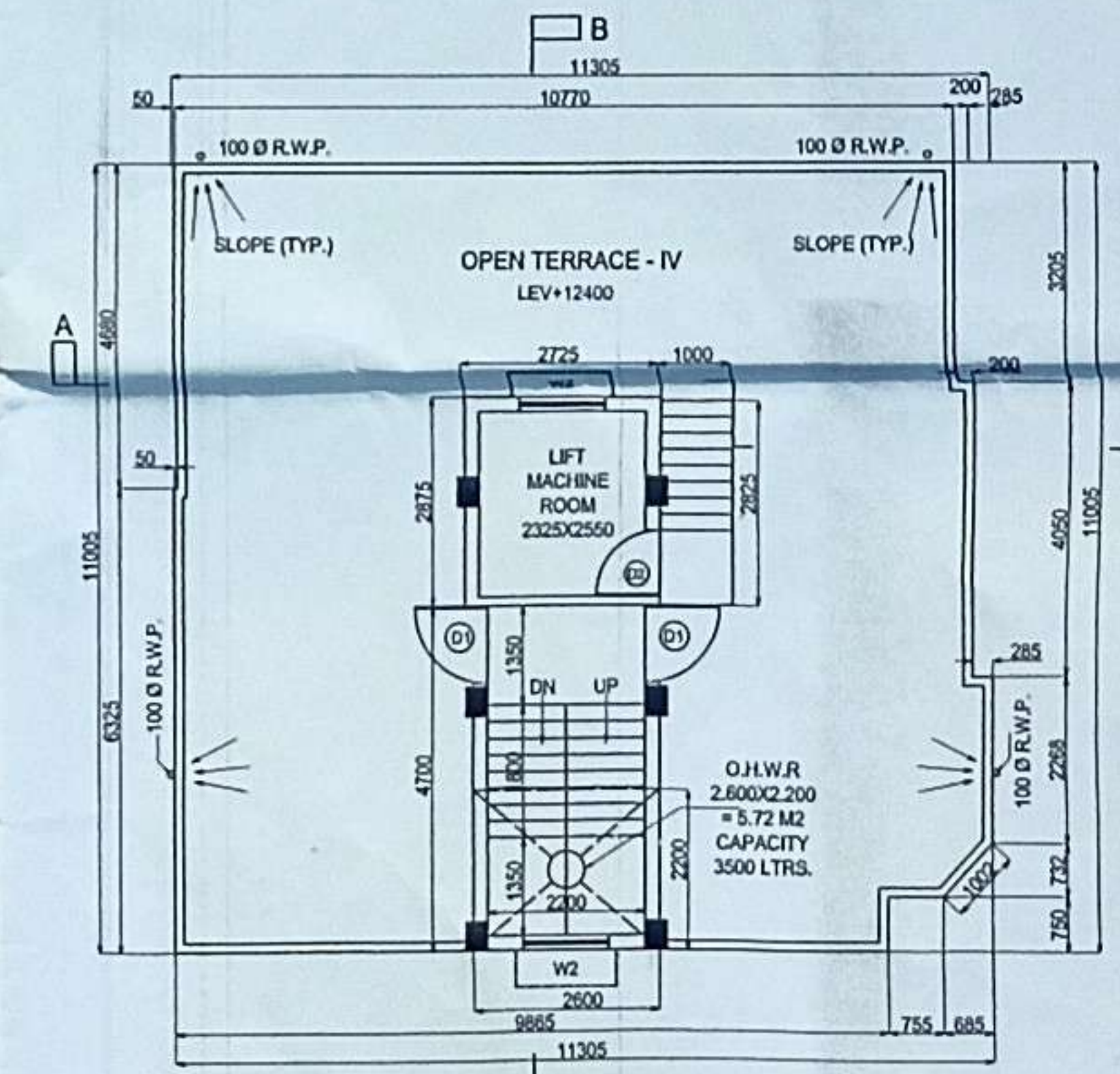
MKD	WIDTH	HEIGHT	DOORS
D1	1050	2100	
D2	900	2100	
D3	750	2100	
SLD	1150	2100	

SCHEDULE OF WINDOW

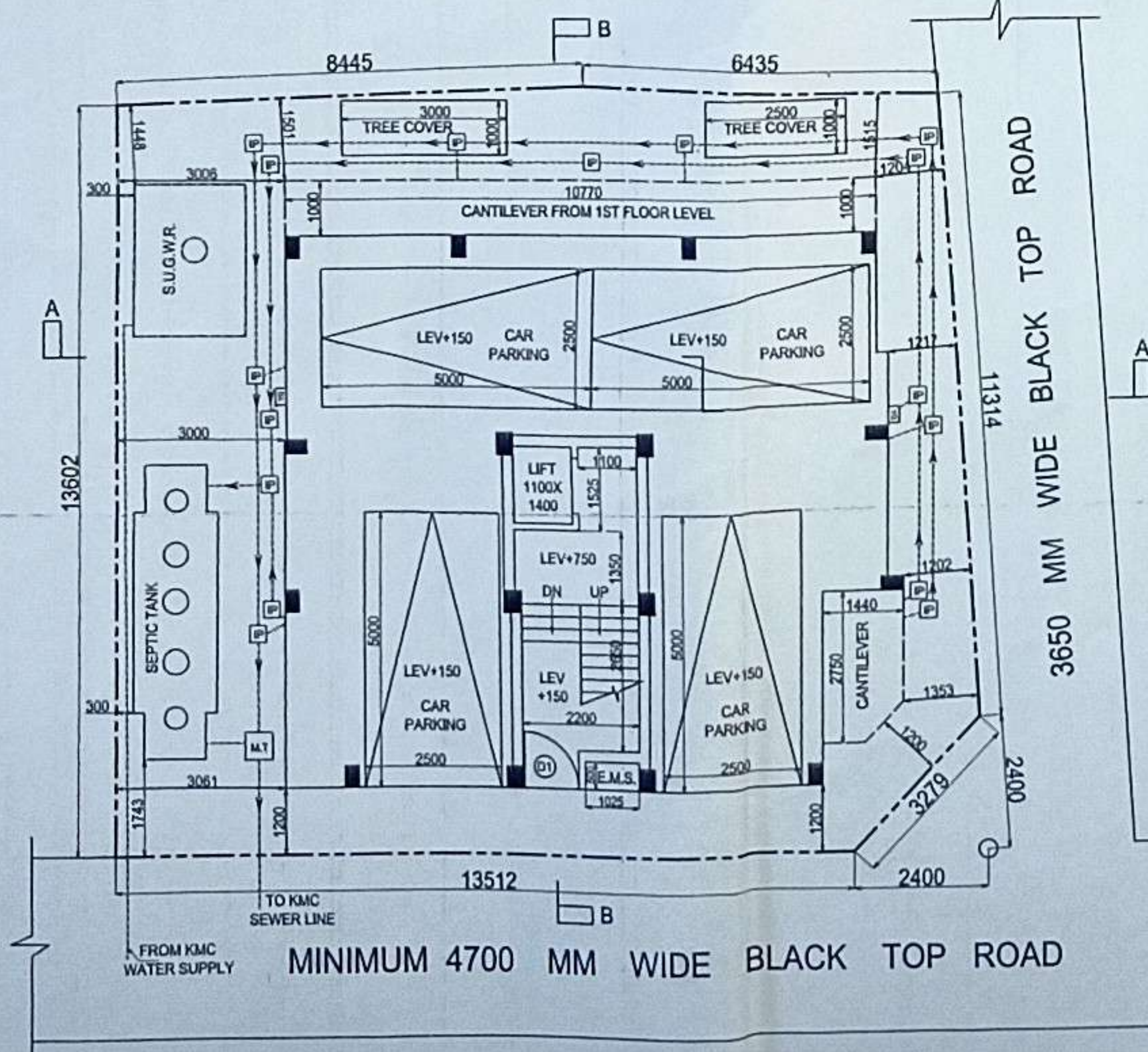
MKD	WIDTH	HEIGHT	WINDOW
W1	1500	1200	
W2	1200	1200	
W3	900	1200	
W4	450	750	



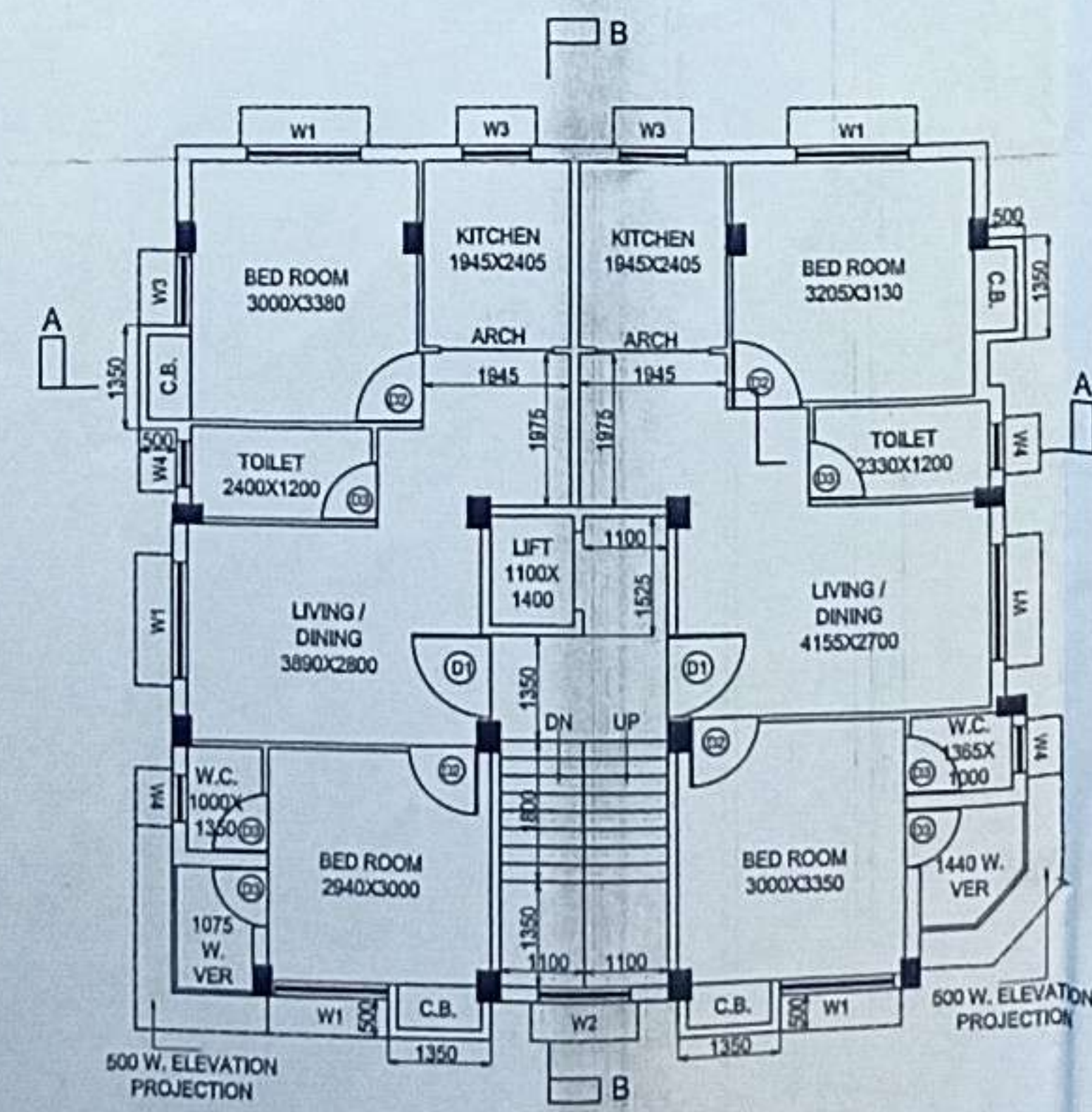
SECTION-AA
SCALE - 1:100



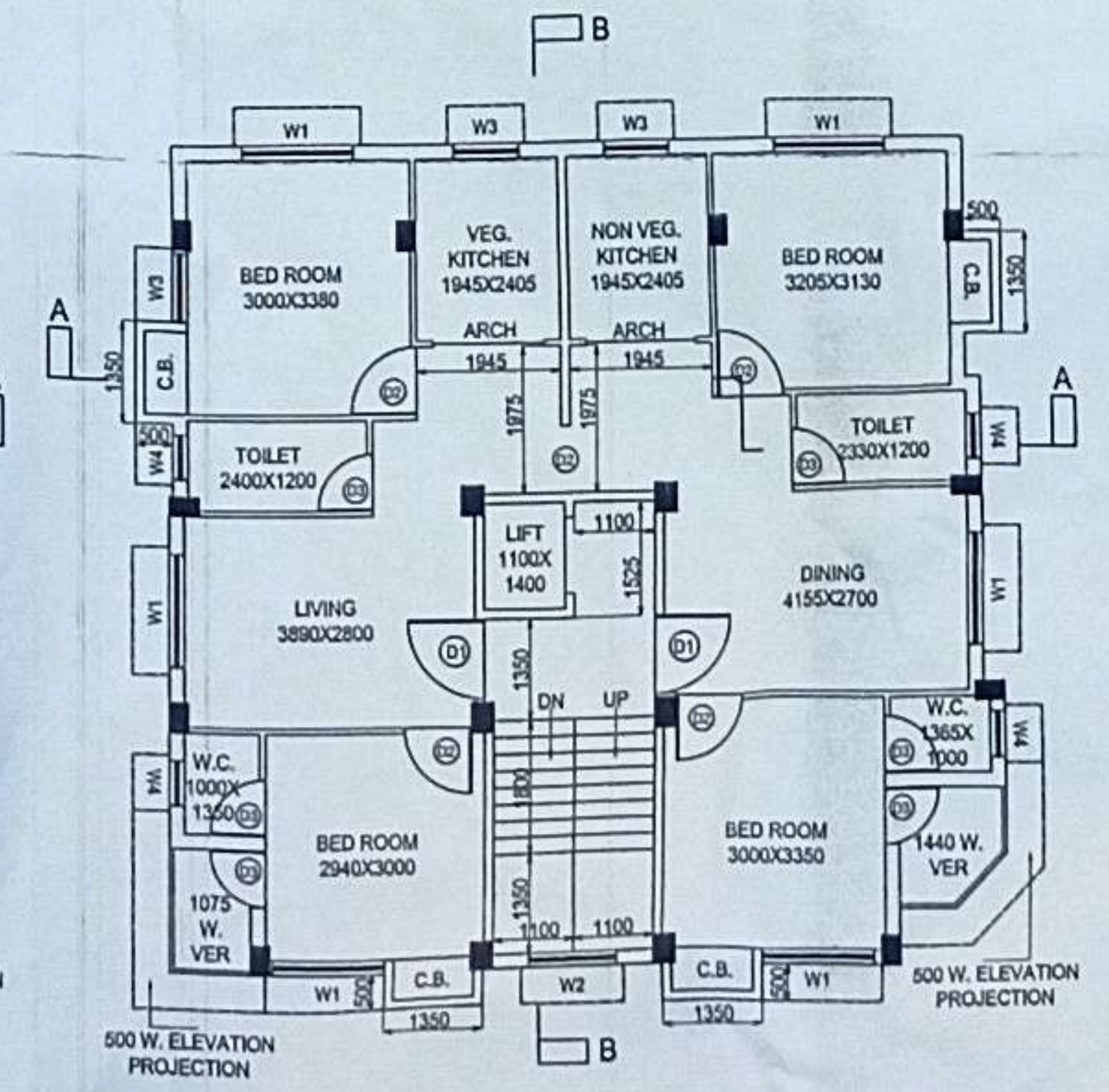
ROOF PLAN
SCALE - 1:100



GROUND FLOOR PLAN
SCALE - 1:100



1ST & 3RD FLOOR PLAN
SCALE - 1:100



2ND FLOOR PLAN
SCALE - 1:100